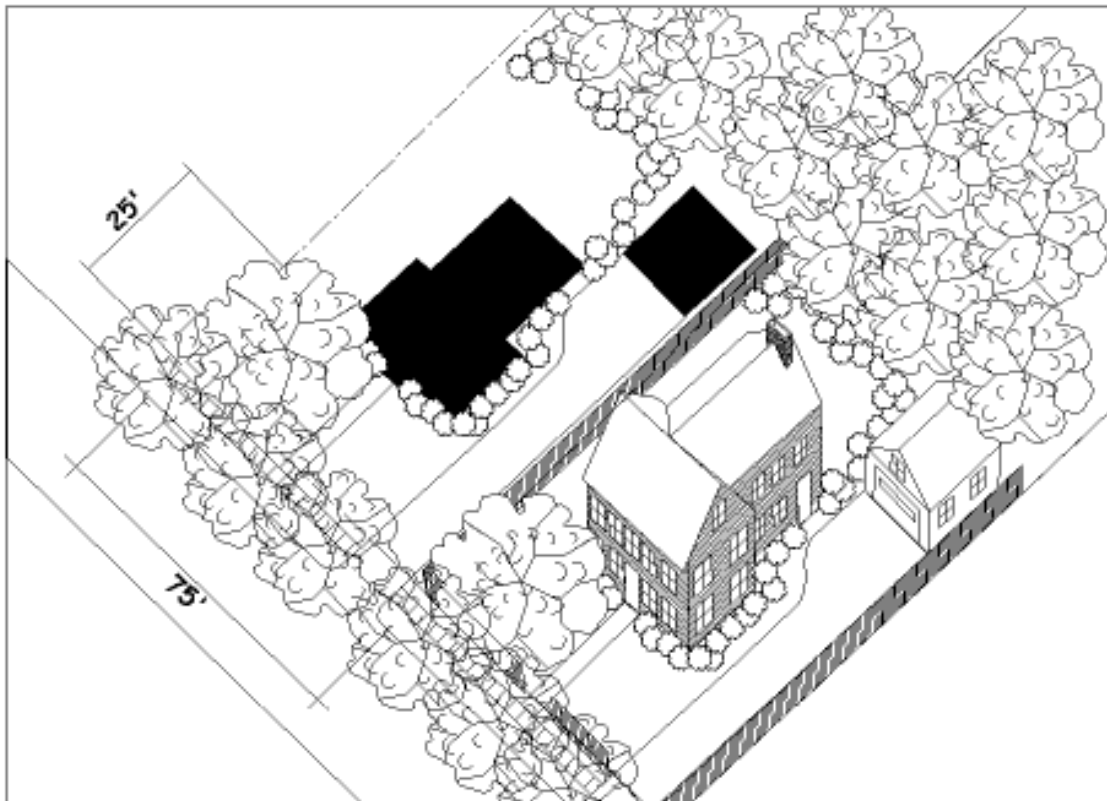


## **APPENDIX D**

### **PLANNED UNIT DEVELOPMENT STANDARDS Area and Bulk Requirements (Specifications and Illustrations) Street Types Required (Specifications and Illustrations)**

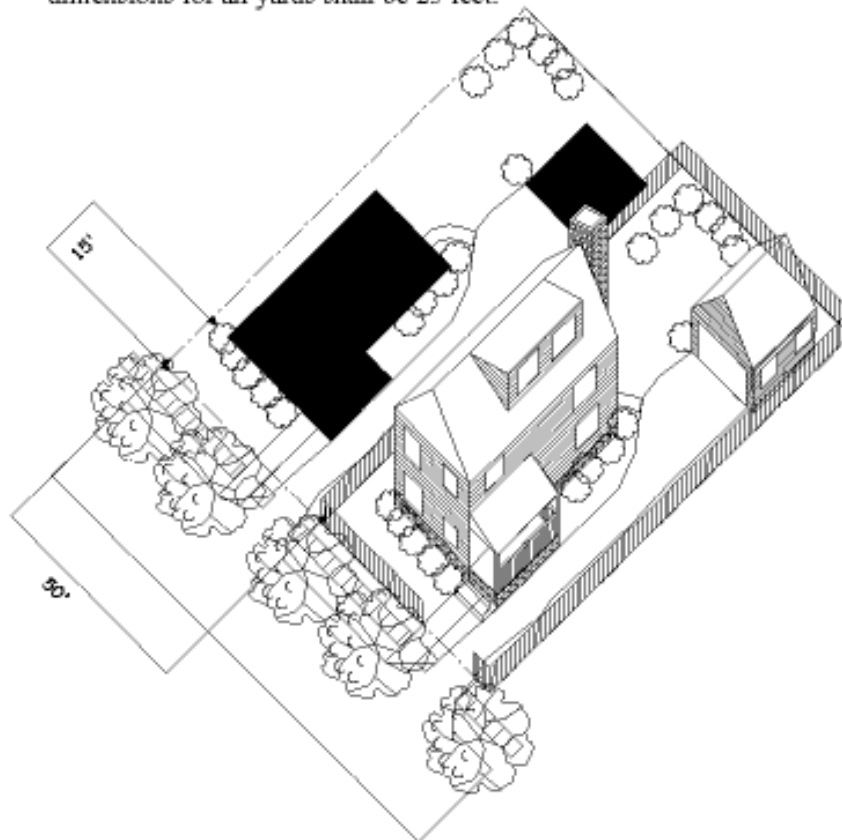
1. Large lot single family detached dwelling (refer to illustration below)

- a. Minimum lot area: 20,000 square feet
- b. Minimum lot width at front yard setback: 65 feet
- c. Minimum lot depth: 120 feet
- d. Minimum yard dimensions:
  - (1) Build-to line: 25 feet unless specified in the regulating plan or street sections
  - (2) Front yard: minimum of 20 feet with a maximum of 30 feet
  - (3) Side yard (each side): 25 feet
  - (4) Rear yard: 50 feet
- e. Build-up line: Two and one-half stories; first floor level must be a minimum of two (2) feet above the sidewalk grade; maximum building height: 40 feet
- f. Maximum building coverage: 25 percent
- g. Minimum non-impervious surface: 50 percent
- h. Rear or side yard garage required
- i. Bulk standards for accessory dwellings: an accessory dwelling located on the same lot as a large lot single family dwelling, whether attached or detached to same, shall additionally comply with the bulk standards as specified above without modification, except that a detached accessory dwelling shall be limited to a maximum building height of 25 feet.



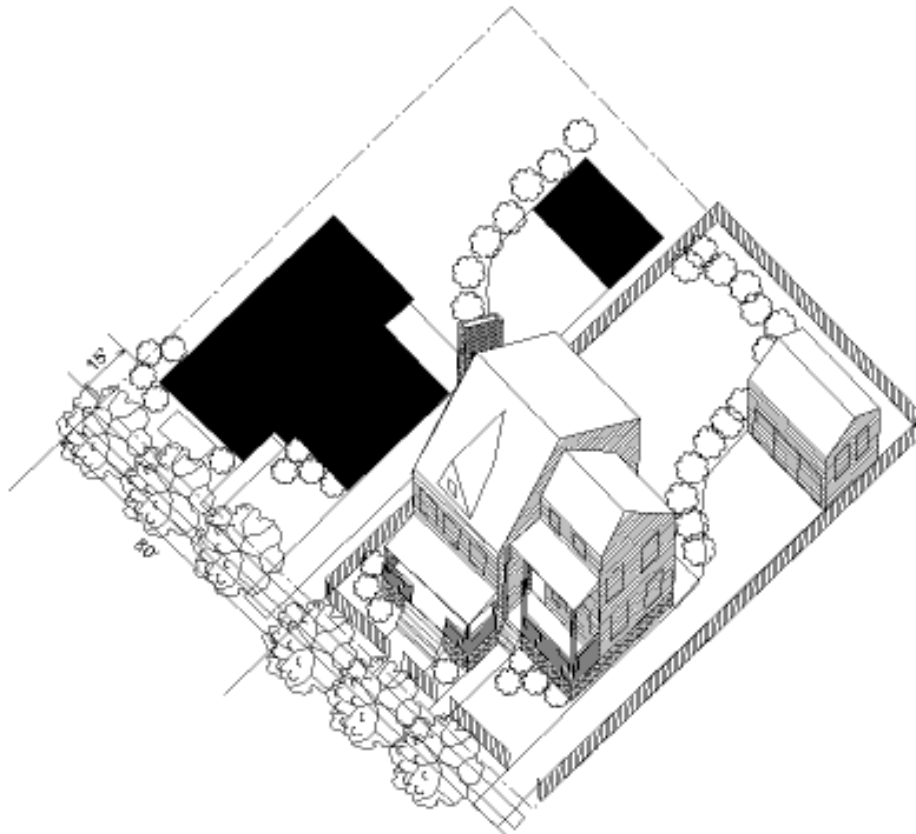
D-1

2. Small lot single family detached dwellings (refer to illustration below)
  - a. Lot area: a minimum of 5,000 square feet and a maximum of 10,000 square feet
  - b. Lot width at front yard setback line: minimum of 50 feet, maximum of 65 feet
  - c. Minimum lot depth: 100 feet
  - d. Yard dimensions:
    - (1) Build-to line: fifteen feet unless specified in the regulating plan
    - (2) Front yard: minimum of ten (10) feet; maximum of 25 feet
    - (3) Side yard (each): minimum of six (6) feet; maximum of 20 feet
    - (4) Rear yard: minimum of 25 feet
  - e. Build-up line: Two stories, first finished floor level must be a minimum of two (2) feet above the sidewalk grade; maximum height 35 feet
  - f. Maximum building coverage: 40 percent
  - g. Minimum non-impervious surface area: 50 percent
  - h. Rear yard parking required, alley optional
  - i. Additional standards for accessory dwellings: an accessory dwelling located on the same lot as a small lot, detached single family dwelling, whether attached or detached to same, shall additionally comply with the standards as specified above without modification, except that a detached accessory dwelling shall be limited to a maximum building height of 25 feet
  - j. Area and bulk standards of flag lots: flag lots shall comply with the above specified area and bulk standards, except that minimum lot width at the street line and minimum lot width a front yard setback line shall be fifteen (15) feet and the minimum yard dimensions for all yards shall be 25 feet.



D-2

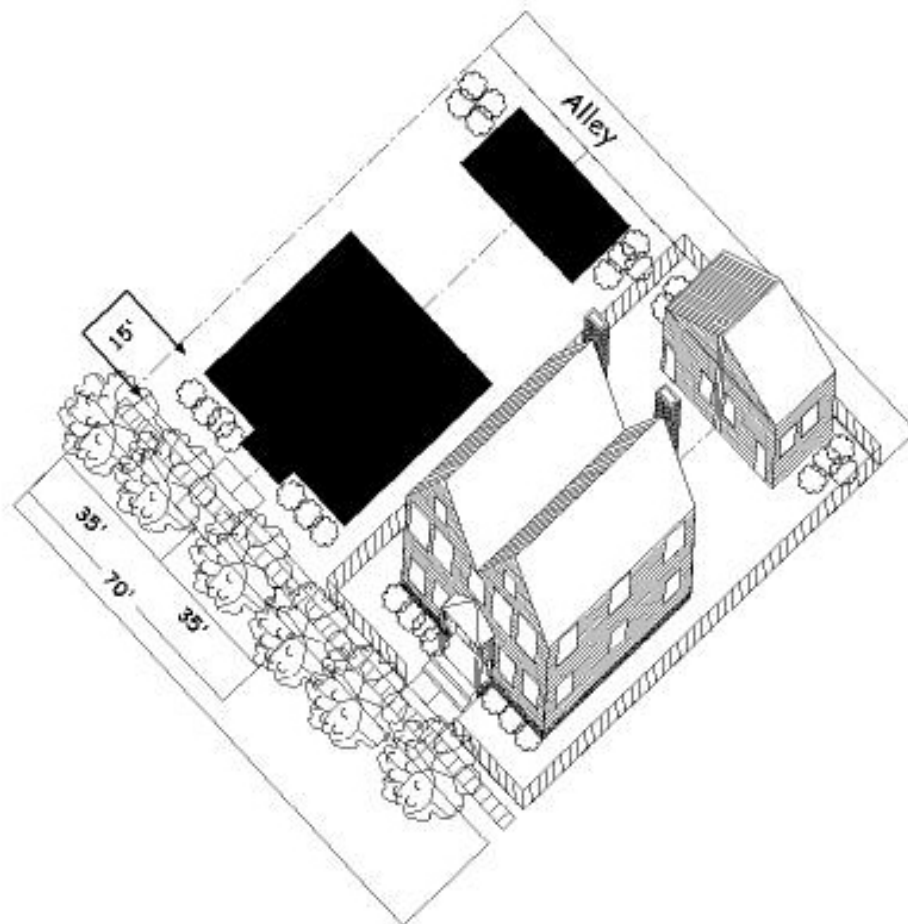
3. Single family semi-detached dwellings (refer to illustration below)
- a. Lot area: minimum of 3,000 square feet per dwelling unit or attached office or commercial, maximum of 6,000 square feet per dwelling unit/office or commercial
  - b. Lot width at front yard setback line: minimum of 40 feet, maximum of 80 feet per dwelling unit
  - c. Minimum lot depth: 100 feet
  - d. Yard dimensions:
    - (1) Build-to line: 15 feet unless specified in the regulating plan
    - (2) Front yard: minimum of six (6) feet, maximum of 20 feet
    - (3) Side yard (one side): minimum of six (6) feet, maximum of 20 feet
    - (4) Rear yard: minimum of 25 feet
  - e. Build-up line: two stories, first finished floor level must be a minimum of two feet above sidewalk grade; maximum height: 35 feet
  - f. Maximum building coverage: 40 percent
  - g. Minimum non-impervious surface area: 50 percent
  - i. Attached structure shall be subordinate to the main structure characterized by a lower ridge line



D-3

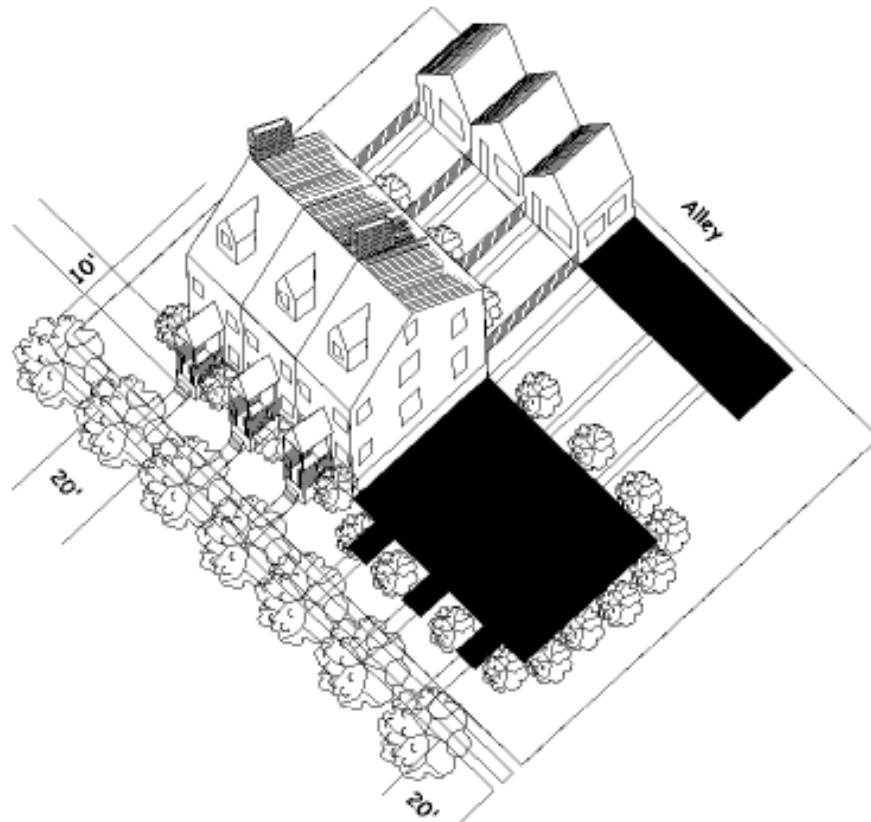
4. Duplex Dwellings (refer to illustration below)

- a. Lot area: minimum of 3,000 square feet per dwelling unit and a maximum of 5,000 square feet per dwelling unit
- b. Lot width at front yard set back line: minimum of 30 feet per dwelling unit, maximum of 50 feet per dwelling unit
- c. Minimum lot depth: 100 feet
- d. Yard dimensions:
  - (1) Build-to line: fifteen (15) feet or as specified in the regulating plan
  - (2) Front yard: minimum of ten (10) feet and a maximum of 20 feet
  - (3) Side yard (one side): minimum of four (4) feet and a maximum of ten (10) feet
  - (4) Rear yard: minimum of twenty-five (25) feet
- e. Build-up line: two stories, first floor finished level must be a minimum of two (2) feet above the sidewalk grade
- f. Maximum building coverage: 50 percent
- g. Minimum open area: 40 percent
- h. Rear yard parking and alley are required

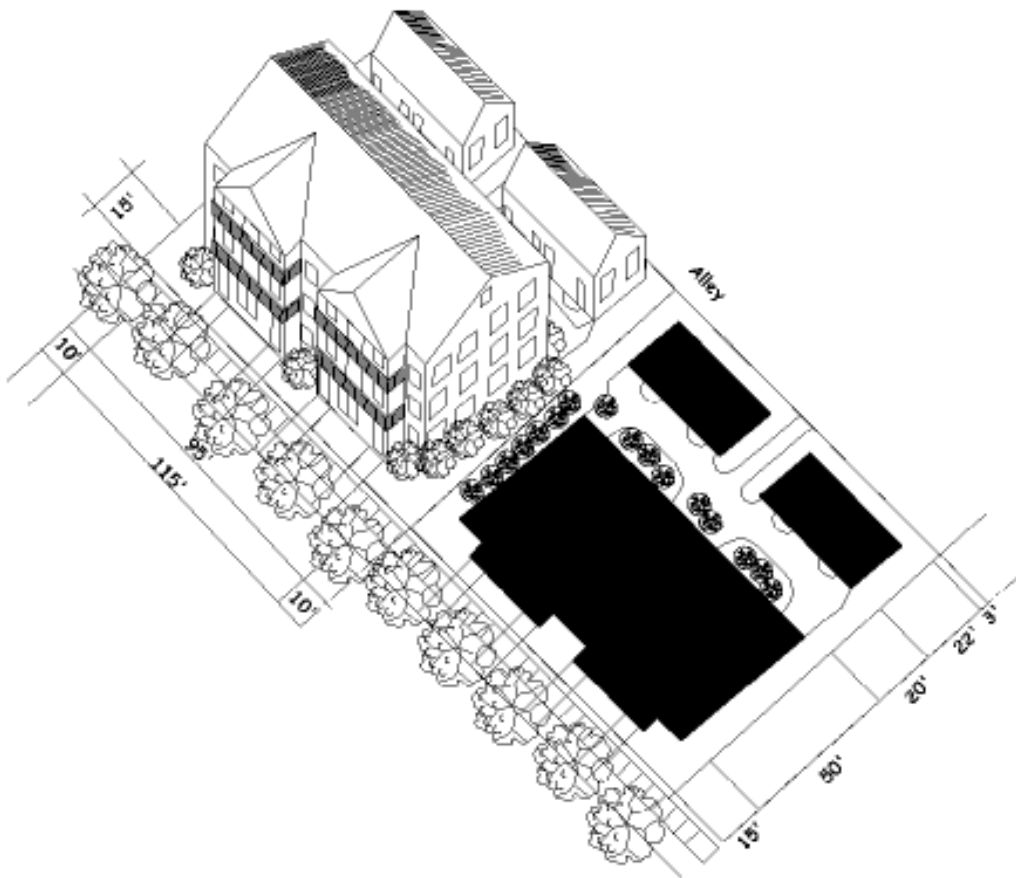


D-4

5. Townhouse (rowhouse) standards (see illustration below)
- a. Lot area: minimum of 1,800 per dwelling unit and a maximum of 4,500 square feet per dwelling unit
  - b. Lot width at front yard setback line: a minimum of 20 feet per dwelling unit and a maximum of 30 feet per dwelling unit
  - c. Minimum lot depth: 100 feet
  - d. Yard dimensions:
    - (1) Build-to line: 10 feet or as specified in the regulating plan
    - (2) Front yard: minimum of five (5) feet and a maximum of 20 feet
    - (3) Side yard (each end unit or end of row): minimum of eight (8) feet, maximum of 12 feet
    - (4) Rear yard: a minimum of 25 feet
  - e. Build-up line: two and a half stories, first finished floor must be a minimum of two (2) feet above sidewalk grade, maximum height: 35 feet
  - f. Maximum building coverage: 60 percent
  - g. Minimum non-impervious surface area: 30 percent
  - h. Maximum building size: four (4) dwelling units in a row and 100 feet in length
  - i. Minimum interior yards (open space between buildings on the same lot): 30 feet
  - j. Rear yard garage and alley required

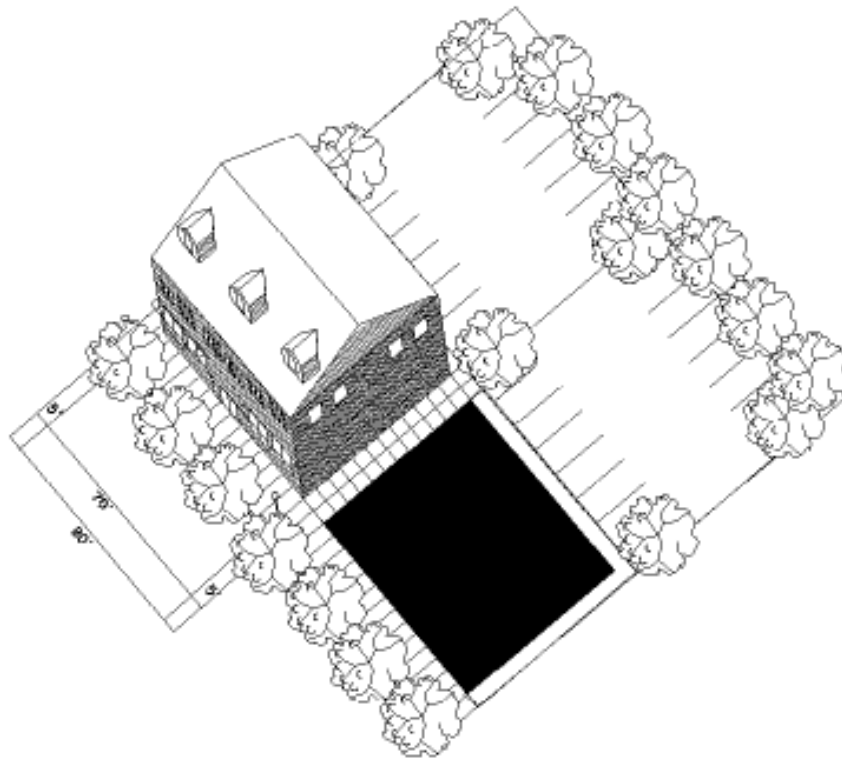


6. Apartment Dwellings (refer to illustration below)
- a. Minimum lot area - 8,800 square feet
  - b. Lot width: a minimum of 80 feet and a maximum of 115 feet
  - c. Minimum lot depth: a minimum of 110 feet and a maximum of 150 feet
  - d. Yard dimensions:
    - (1) Build-to line: fifteen (15) feet or as specified in the regulating plan
    - (2) Front yard: minimum of ten (10) feet and a maximum of twenty (20) feet
    - (3) Side yard (each side): minimum of ten (10) feet
    - (4) Rear yard: minimum of 55 feet
  - e. Build-up line: three stories, first finished floor level must be a minimum of two feet above sidewalk grade
  - f. Maximum building coverage: 60 percent
  - g. Minimum non-impervious surface area: 30 percent
  - h. Maximum building size: eight (8) dwelling units in a building and 95 feet in length
  - i. Minimum interior yards (open space between buildings on the same lot): 20 feet
  - j. Rear yard parking and alley access is required



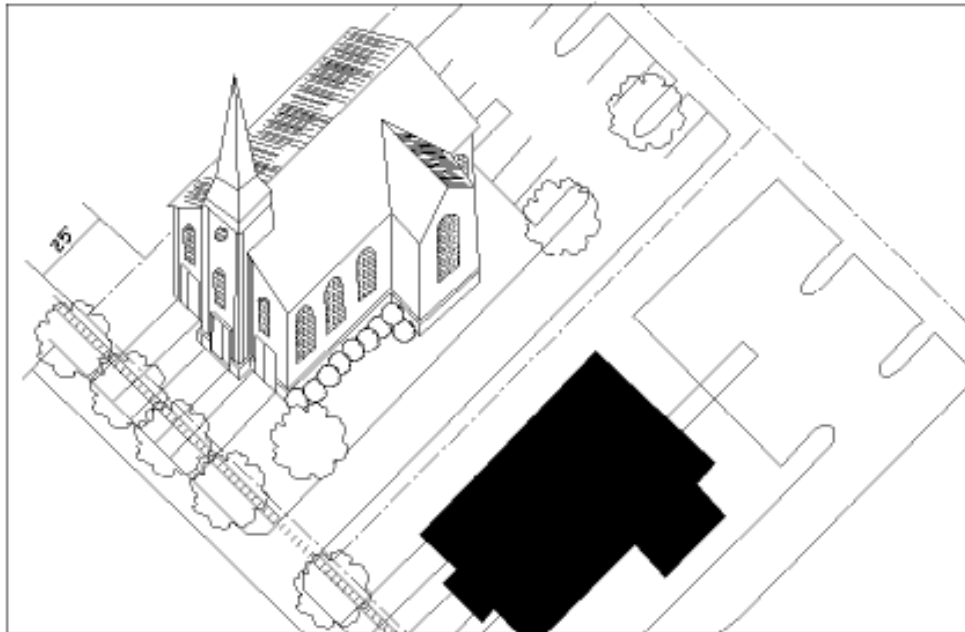
7. Commercial Uses and Mixed-Use Buildings (refer to illustration below)

- a. Lot area: minimum of 2,500 square feet and a maximum of 16,000 square feet.
- b. Lot width: At front yard set back line: minimum of 25 feet and a maximum of 80 feet.
- c. Minimum lot depth: 100 feet
- d. Yard dimensions
  - (1) Build-to line:
    - (a) Commercial/retail: zero (0) feet
    - (b) Mixed-use, retail/office: four (4) feet
    - (c) Mixed-use, retail/residential: four (4) feet
    - (d) Front yard: a minimum of zero feet, maximum of ten (10) feet
    - (e) Side yard (each side): a minimum of zero (0), if attached to an adjacent building or a minimum of five (5) feet if not attached to an adjacent building; maximum of 20 feet
    - (f) Rear yard: a minimum of 55 feet (one row of parking)
- e. Build-up line: three stories, finished first floor must be level with sidewalk; maximum height: 45 feet
- f. Maximum building coverage: 70 percent
- g. Minimum non-impervious surface area: 10 percent
- h. Maximum building size: 100 feet in length, including adjacent buildings on adjacent lots if attached thereto
- i. Minimum interior yards (open space between buildings on the same lot): fifteen (15) feet.
- j. All off-street parking must be in rear yards. Alleys recommended.



D-7

8. Community facilities, institutional and religious buildings
- a. Lot area: a minimum of 10,000 square feet and a maximum of 40,000 square feet
  - b. Lot width at front yard setback line: a minimum of 80 feet and a maximum of 150 feet
  - c. Minimum lot depth: 110 feet
  - d. Yard dimensions:
    - (1) Build-to line:
      - (a) Community facilities: fifteen (15) feet
      - (b) Religious: twenty-five (25) feet
      - (c) Institutional: twenty (20) feet
    - (2) Side yard (each side): minimum of fifteen (15) feet and a maximum of 30 feet
    - (3) Rear yard: a minimum of 75 feet
  - e. Build-up line: three stories; maximum building height: 45 feet; steeples or decorative towers: 75 feet
  - f. Maximum building coverage: 70 percent
  - g. Maximum building size: 100 feet in length, including adjacent buildings on adjacent lots if attached thereto
  - i. Minimum interior yards (open space between buildings on the same lot): fifteen (15) feet
  - j. All off-street parking must be located in the rear yard. Alleys are recommended.



## TYPE 1 THE ALLEY/LANE

### ADJACENT LAND USES

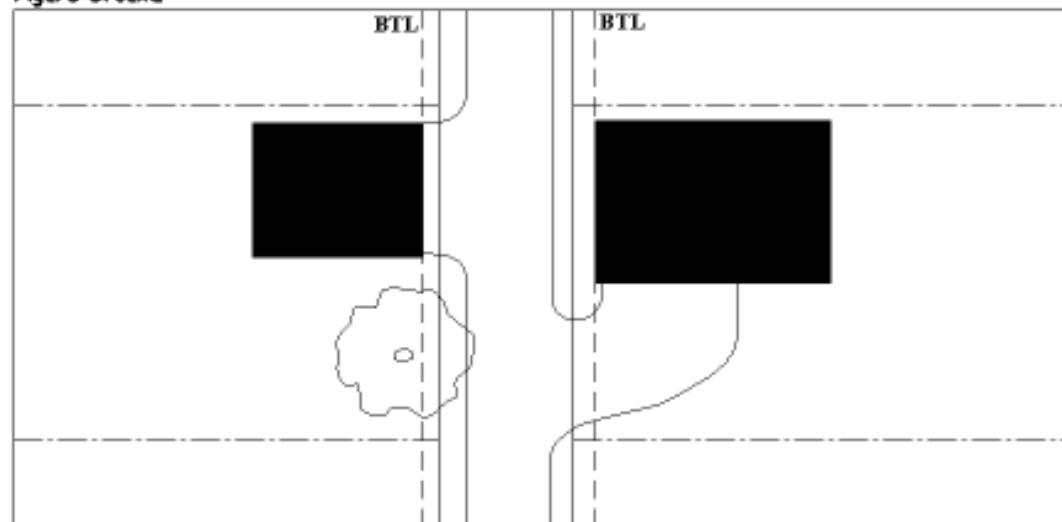
Garages  
 Parking Lots (Landscaped edges)  
 Accessory units above garages  
 Accessory residential units

Story height: 1 to 2 stories  
 Build-to line: 3 feet  
 Finished ground floor level: On grade

### Section



### Figure Ground



- A. A lane shall be a private street of easement and shall not be dedicated to the city. Such streets or easements may be dedicated to the property owners' association of the PUD or may be dedicated as common easements across the rear portions of lots.
- B. Minimum paved width: 12 feet
- C. Width of easement: 20 feet
- D. Building or fences set back a minimum of 3 feet
- E. No parking permitted on either side of the cartway of a lane
- F. Curbing shall not be required except at corners of intersections with other specific street types. At such corner locations, curbing shall be required for the entire corner radius and five feet preceding same. Such curbing shall not extend more than six inches above the finished pavement.
- G. Lane or alley lighting shall be provided on all garages or on poles adjacent to parking areas. Lighting fixtures shall be consistent with the architectural style and complement the predominant architectural theme.
- H. Design speed shall not exceed 10 m.p.h.

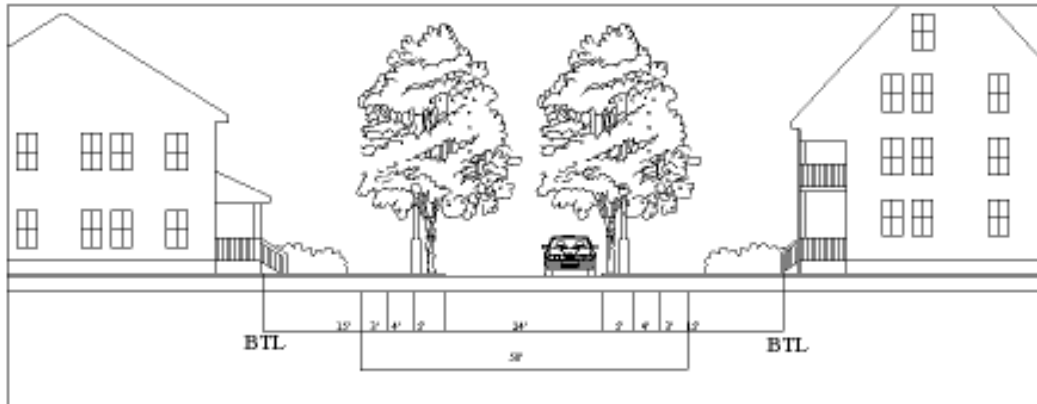
**TYPE 3 Two-Way Residential Street**

**Adjacent Land Uses**

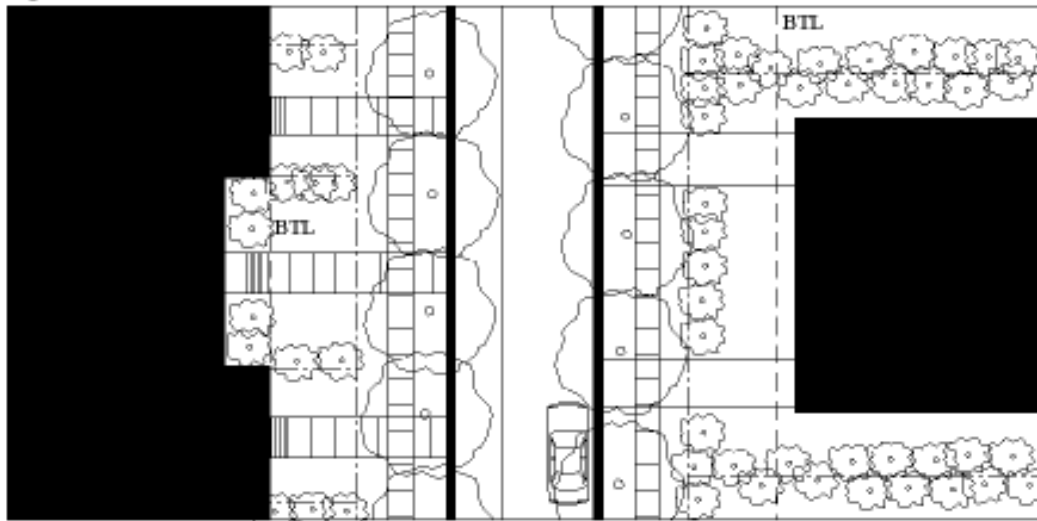
Small and medium density single family lots  
 Duplex Units  
 Townhouses  
 Multi-family  
 Large lot single family with large setback

Build-to line: 10 to 15 feet  
 Story height: 2 - 3 stories  
 Finished ground floor level: 2 to 4 feet above sidewalk

**Section**



**Figure Ground**



- A. Right-of-way widths: 50 feet  
Paved width: 24 feet
- B. Curbside parking shall be permitted on one side of the road
- C. Sidewalks shall be provided in both sides of the road
- D. Curbing shall be required
- E. Granite block curbing or its equivalent is recommended
- F. Decorative street lamps, a maximum of 12 feet in height shall be provided on both sides of the street, at minimum 80 feet on center, and at intersections
- G. Shade trees shall be planted in the five foot parkway on both sides of the street, at a minimum spacing if 24 feet on center.
- H. Design speed shall not exceed 25 m.p.h.
- I. Average daily traffic limited to 4,000 vehicles per day.
- J. Bicycles can use streets without a separate path.

**TYPE 4 Two-Way Residential Street**

**Adjacent Land Uses**

Small, medium and large width single family lots  
 Duplex units  
 Townhouses  
 Multi-family Units  
 Home Occupations

Build-to Line: 15 feet  
 Story Height: 2 - 3 stories  
 Finished ground floor level: 2 to 4 feet above  
 the sidewalk grade

Section

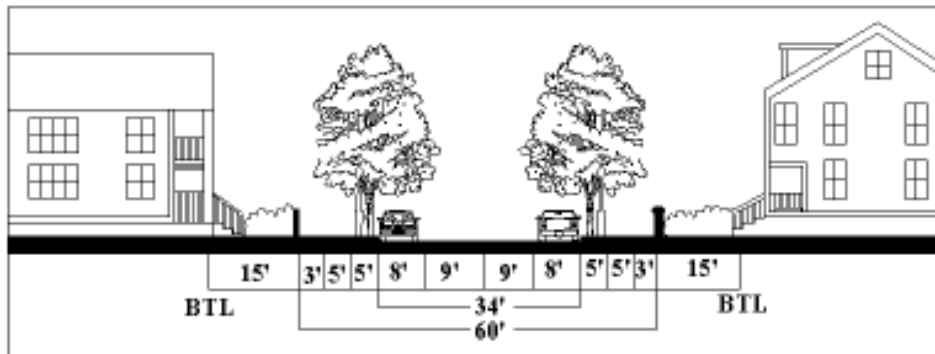
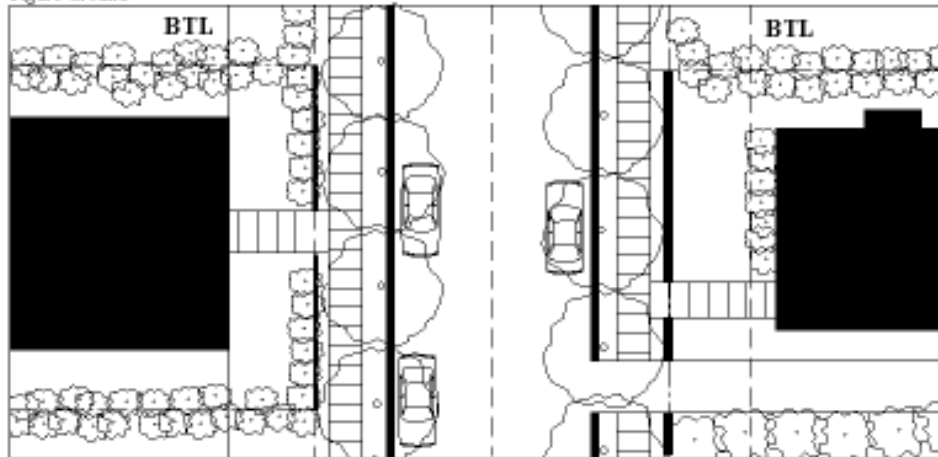


Figure Ground



- A. Right-of-way width: 60 feet  
Paved width: 34 feet
- B. Curbside parking is permitted on both sides of the street, except within 25 feet of any intersection.
- C. Sidewalks are required on both sides of the street, a minimum of 5 feet wide.
- D. Curbing shall be required.
- E. Granite block curbing, or equivalent recommended. Curb radii are not to exceed 8 feet.
- F. Decorative street lamps, a maximum of 12 feet in height, shall be provided on both sides of the street and at intersections. They shall be at a minimum spacing of 80 feet on-center.
- G. Shade trees shall be planted in the parkways on both sides of the street at a minimum spacing of 24 feet on-center.
- H. Design speed shall not exceed 25 m.p.h.
- I. Average daily traffic limited to approximately 6,000 vehicles per day.

**Main Street - Commercial Mixed-Use Street**

**Adjacent Land Uses**

Community Commercial, Office or Retail Mixed Use

Story Height: 2 - 3 stories

Build-to line: 15 feet

Finished Ground Floor Level: On grade with sidewalk grade

Section

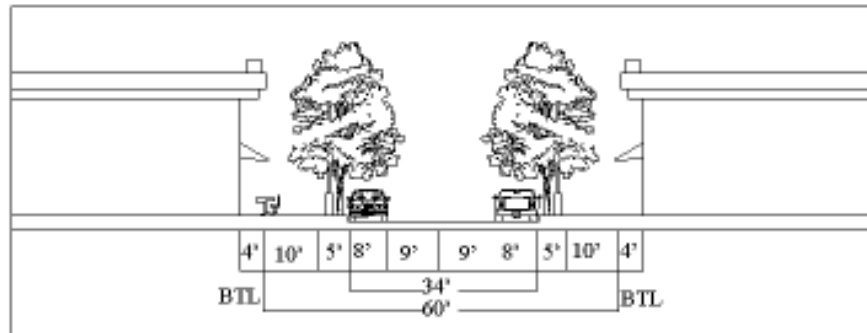
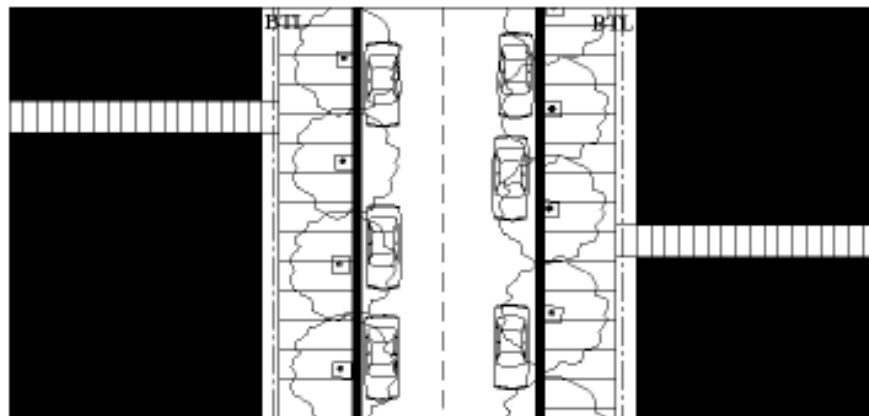


Figure Ground



- A. Right-of-way: 64 feet  
Pavement width: 34 feet
- B. Parallel parking shall be provided in both sides of the street. Diagonal head-in parking may be permitted along the front of commercial uses and/or the community green, in which case no parking shall be permitted on the other side of the street. Curbside parking shall not be permitted within 25 feet of an intersection.
- C. Planted parkway abutting the community green shall be a minimum of nine feet in width. Along commercial uses, brick pavers may be substituted for vegetative cover typically found in parkways of residential areas. Sidewalks shall have a minimum width of 6 feet, except along commercial uses where the sidewalk shall be at least 10 feet in width.
- D. Curbing shall be required with curb radius not to exceed 8 feet.
- E. Granite block curbing, or equivalent, is recommended.
- F. Decorative street lighting shall be provided at a minimum interval of 80 feet and at intersections. Light poles shall form a 40 feet staggered pattern when measured using both sides of the street. Lighting fixtures and poles shall be no higher than 12 feet and constructed from steel, cast iron or aluminum, with poles and fixtures complementing the architectural character of the PUD. Lighting fixtures and poles shall be of consistent architectural style throughout the zone and shall complement the predominant architectural theme.
- G. Street trees, with a minimum of 3 inch caliper or twelve feet high at the time of planting shall be planted at a minimum of 24 foot intervals. Bottom branches shall be trimmed to a minimum of twelve feet from the ground to allow pedestrians passage in commercial areas. Street trees shall be planted on both sides of the street, in the parkway between the curb and the sidewalk if such exists. Existing trees shall be used where possible.
- H. Design speed shall not exceed 25 m.p.h.

**TYPE 9 Two lane arterial with optional bike lane**

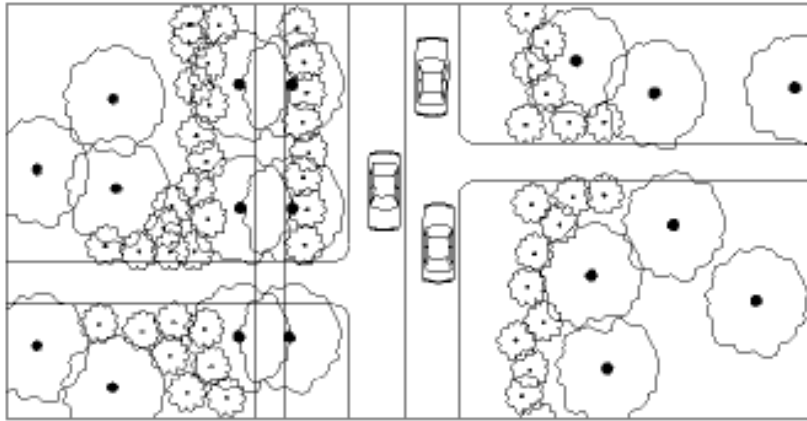
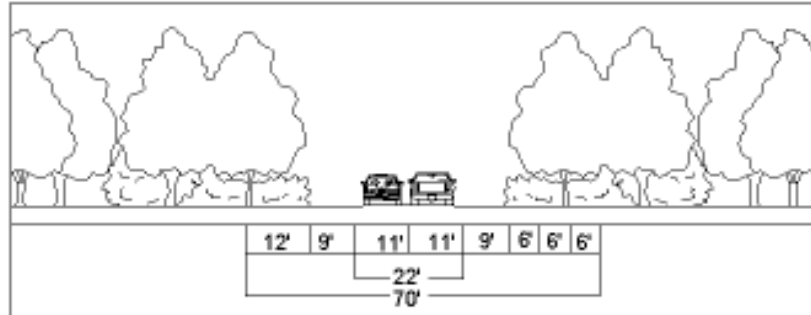
**Adjacent Land Uses**

Agriculture  
Open Space/environmentally sensitive areas  
Large lot single family estates (6 to 25 acres)

Story Height: 2 - 3 stories

Build-to line: 200 - 250 feet

Finished ground floor level: not applicable



- A. Right-of-way: 70 feet  
Paved width: 22 feet (uncurbed)  
A 9 foot graded shoulder shall be provided on both sides. Within 100 feet of an intersection of equal or higher status in the hierarchy of streets, the shoulder shall be paved to allow for turns.
- B. A six foot wide bicycle path and/or five foot wide sidewalk shall be located on a minimum of one side of the road, with a minimum setback of 6 feet from the cartway.
- C. Two rows of shade trees shall be located in parkways along both sides of this roadway at a minimum staggered interval of 24 feet (a spacing of 48 feet on center for each individual row). A 4 to 5 feet high split rail fence or board rail fence, or a stone wall may be substituted for the second, outmost row of trees on each side. Existing vegetation shall be incorporated wherever possible. The first, innermost row of trees shall be planted a minimum of 3 feet from the edge of the shoulder.
- D. Only uses allowed in peripheral open spaces shall front upon and have access to this road.
- E. Curbside parking shall not be permitted.
- F. Curbing shall be provided along all road slopes in excess of 5 percent or when the accumulation of drainage in roadway swales exceeds a flow of 5 cubic feet per second (cfs) or a velocity of 3 feet per second (fps).
- G. Design speed shall not exceed 45 m.p.h.
- H. Decorative street lamps, not exceeding 16 feet in height, shall be provided at intersections only.